

- Applicant/Owner:  
Frank Edwardi  
300 77th Street  
Sea Isle City, NJ 08243  
Phone (609) 263-5301
- The project site is known as Block 88.03 Lots 16.02, 17.01, 17.02, 18.01, 18.02, 19, 20, 21, 27, 28 & 29, as shown on the Tax Plate #18 of the Lower Township Tax Maps.
- The project site is located in the (R2) Two Family Residential Zoning District.
- The project site consists of an area of 0.46 Acres (20,337 SF).
- The existing parcels consist of:  
Lots 16.02 & 17.01 (vacant)  
Lots 17.02, 18.02 & 27 (multi-family dwelling)  
Lots 28 & 29 (vacant / parking lot)  
Lots 20 & 21 (vacant / parking lot)  
Lots 18.01 & 19 (single-family dwelling)
- It is the intent of the Applicant to subdivide and consolidate the parcels into four (4) new lots: Lots 17, 18, 19 & 20, in which variance relief is required for bulk requirements for proposed Lot 18, 19 & 20.
- All concrete curb, sidewalk, pavement disturbed in kind within road rights-of-way are to be repaired in kind.
- All traffic signs, other signs, mailboxes, poles and/or safety devices that will be removed during construction are to be reinstalled at the proper location.
- The proposed application will require approvals from the following agencies:
  - Lower Township Planning Board
  - Cape May County Planning Board

**ZONING INFORMATION**  
(R-2) TWO-FAMILY RESIDENTIAL ZONING DISTRICT

PROPOSED LOT 17	Required	Proposed	Variance
<b>Description</b>			
Minimum Lot Area	5,000 SF	5,782 SF	NO
Minimum Lot Frontage / Width	50'	59.35'	NO
Minimum Lot Depth	100'	100'	NO
<b>Principal Building Setbacks:</b>			
Minimum Front Yard	15'	≥15'	NO
Minimum Side Yard	5'	≥ 5'	NO
Minimum Total Side Yard	15'	≥15'	NO
Minimum Rear Yard	20'	≥20'	NO

PROPOSED LOT 18	Required	Proposed	Variance
<b>Description</b>			
Minimum Lot Area	5,000 SF	5,791 SF	NO
Minimum Lot Frontage / Width	50'	64.35'	NO
Minimum Lot Depth	100'	90'	YES
<b>Principal Building Setbacks:</b>			
Minimum Front Yard	15'	≥15'	NO
Minimum Side Yard	5'	≥ 5'	NO
Minimum Total Side Yard	15'	≥15'	NO
Minimum Rear Yard	20'	≥20'	NO

PROPOSED LOT 19	Required	Proposed	Variance
<b>Description</b>			
Minimum Lot Area	5,000 SF	3,520 SF	YES
Minimum Lot Frontage / Width	50'	32'	YES
Minimum Lot Depth	100'	110'	NO
<b>Principal Building Setbacks:</b>			
Minimum Front Yard	15'	≥15'	NO
Minimum Side Yard	5'	≥ 5'	NO
Minimum Total Side Yard	15'	≥15'	NO
Minimum Rear Yard	20'	≥20'	NO



**GENERAL NOTES**

Outbound and topographic survey information taken from plan entitled "Plan of Major Subdivision", Block 88.03, Lots 16.02, 17.01, 17.02, 18.01, 18.02, 19, 20, 21, 27, 28 & 29, City of Sea Isle City, Cape May County, New Jersey, prepared by Cape Land Surveying, LLC, George Swensen N.J.P.L.S. #43415, dated 12/05/24, revised 02/21/25.

**SURVEY INFORMATION**

This set of plans has been prepared for purposes of municipal and agency review and approval. This set of plans shall not be utilized as construction documents until all conditions of approval have been satisfied on the drawings and each drawing has been revised to indicate " Issued for Construction."

Contractor shall check and verify all existing utilities, grades, site dimensions and existing conditions before proceeding with construction. Any discrepancies or unusual conditions are to be reported to design engineer/project staff immediately for adjustments or directions.

All construction to be performed in accordance with NJDOT Standard Specifications and supplementary specifications for this project.

These drawings do not include the necessary components for construction safety; however, all construction must be done in compliance with the Occupational Safety and Health Act of 1970 and all rules and regulations appurtenant to this project.

**CONTRACTOR NOTES**

**EDDA** Engineering Design Associates, P.A.  
Environmental Planners, Landscape Architects  
CAMBRIDGE PROFESSIONAL OFFICES  
5 Cambridge Drive Ocean View New Jersey 08230  
(609) 390-0324 • Fax (609) 390-9204 • www.engineeringdesign.com • CERTIFICATE OF AUTHORIZATION: 2462707000

**SUBDIVISION / LOT ANALYSIS PLAN**  
BLOCK 88.03 LOTS 16.02, 17.01, 17.02, 18.01, 18.02, 19, 20, 21, 27, 28 & 29  
SEA ISLE CITY, CAPE MAY COUNTY, NEW JERSEY

**VINCENT C. ORLANDO**  
PROFESSIONAL ENGINEER  
N.J.P.E. LIC. #32498

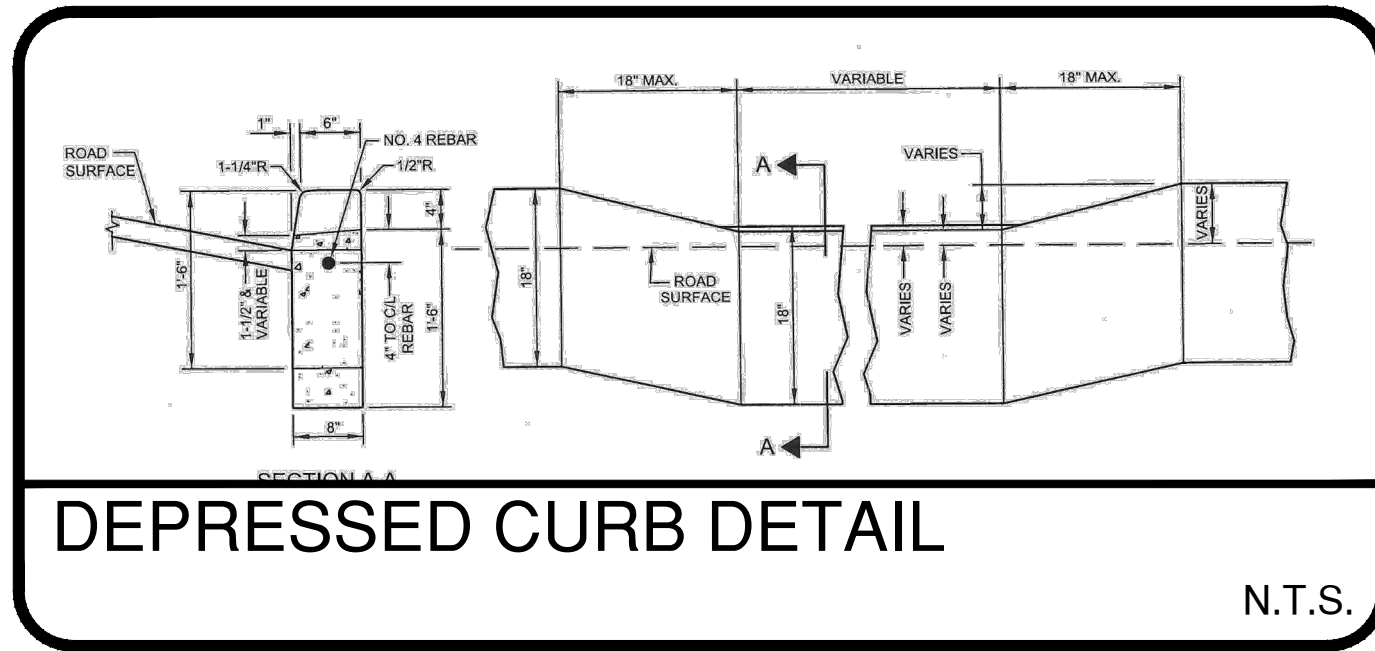
IF THIS PLAN OR DOCUMENT DOES NOT CONTAIN A RAISED SEAL IMPRESSION BEARING THE NAME AND REGISTRATION NUMBER OF THE ABOVE SIGNED PROFESSIONAL, IT MAY NOT BE AN AUTHORIZED COPY OF THE ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED. REPRODUCTION OR FURTHER DISSEMINATION OF THE CONTENTS IN WHOLE OR IN PART REQUIRES PERMISSION IN WRITING FROM ENGINEERING DESIGN ASSOCIATES, P.A.

REV. PER ENGINEER	02/19/25	NEW
REVISION	DATE	BY



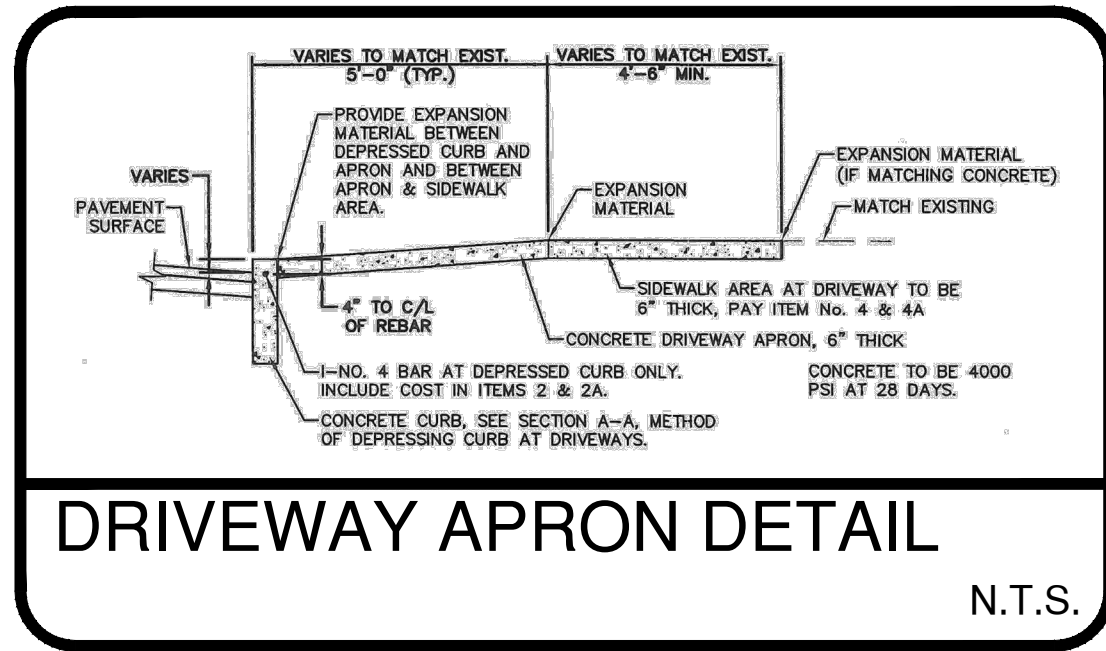
DATE: 02/12/25	DRAWN BY: NEW
SCALE: AS NOTED	CHECKED BY: VCO
PROJECT #: 10569	SHEET: 1 OF 2





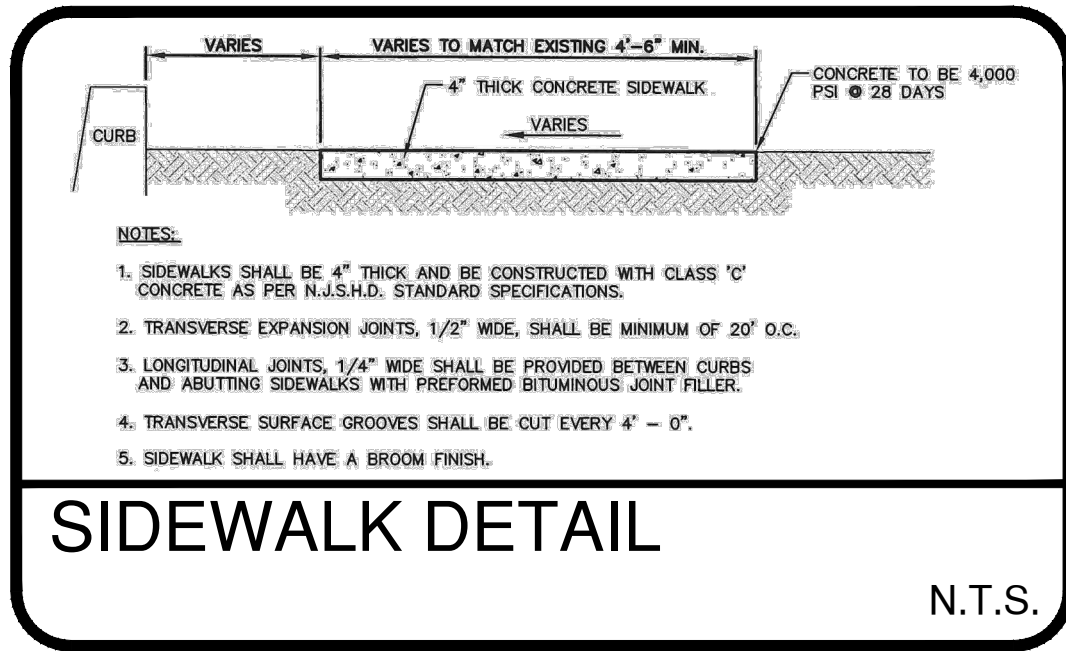
DEPRESSED CURB DETAIL

N.T.S.



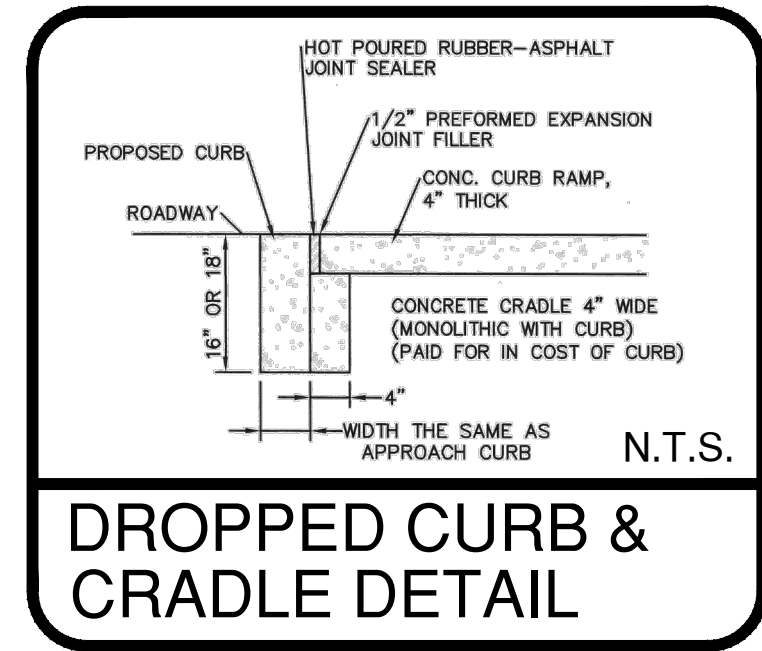
DRIVEWAY APRON DETAIL

N.T.S.



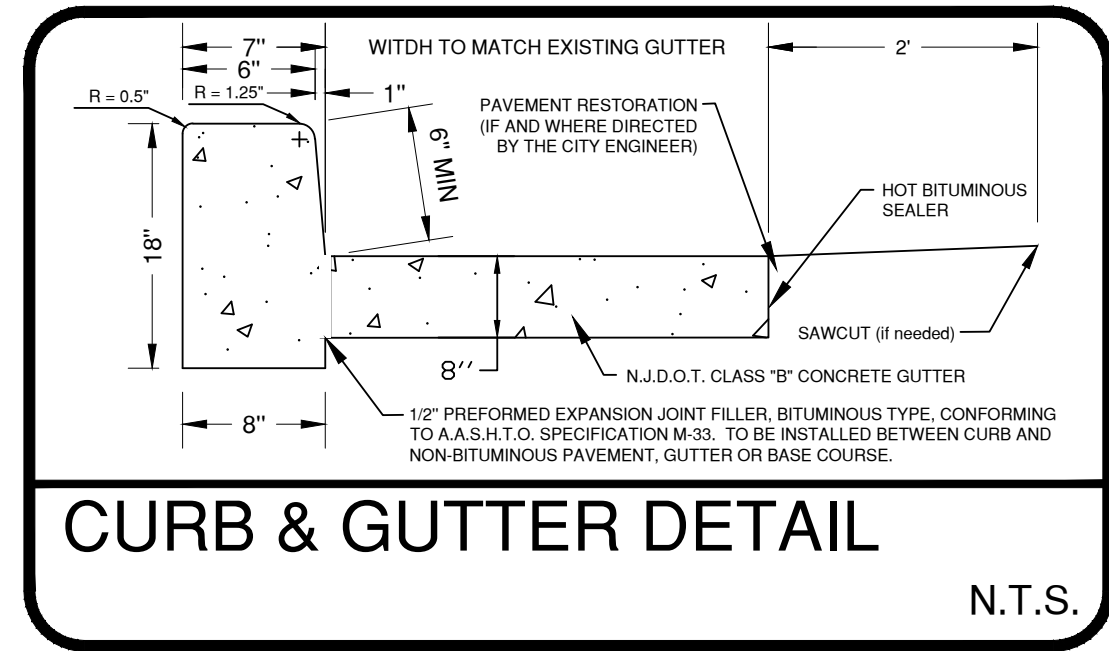
SIDEWALK DETAIL

N.T.S.



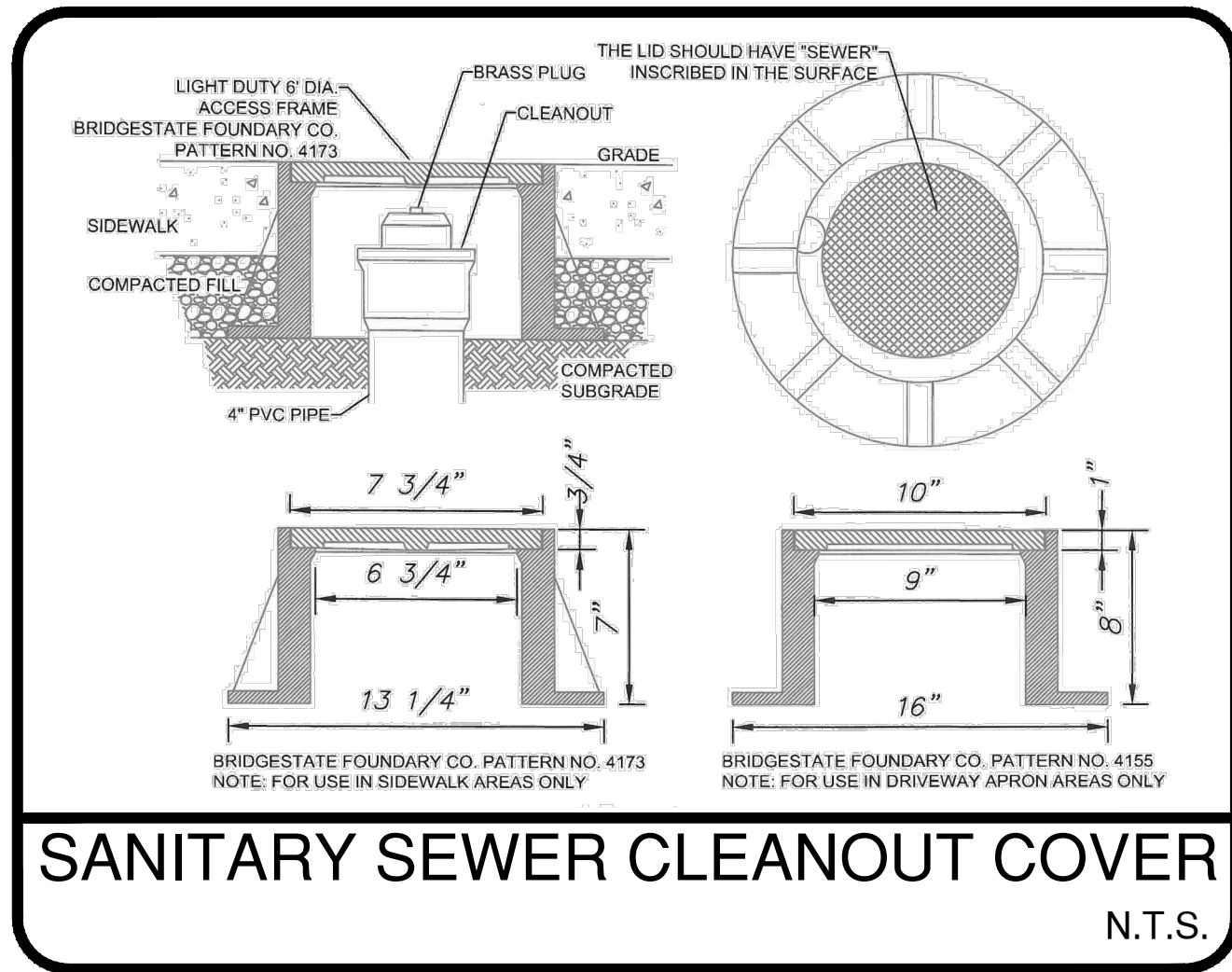
DROPPED CURB & CRADLE DETAIL

N.T.S.



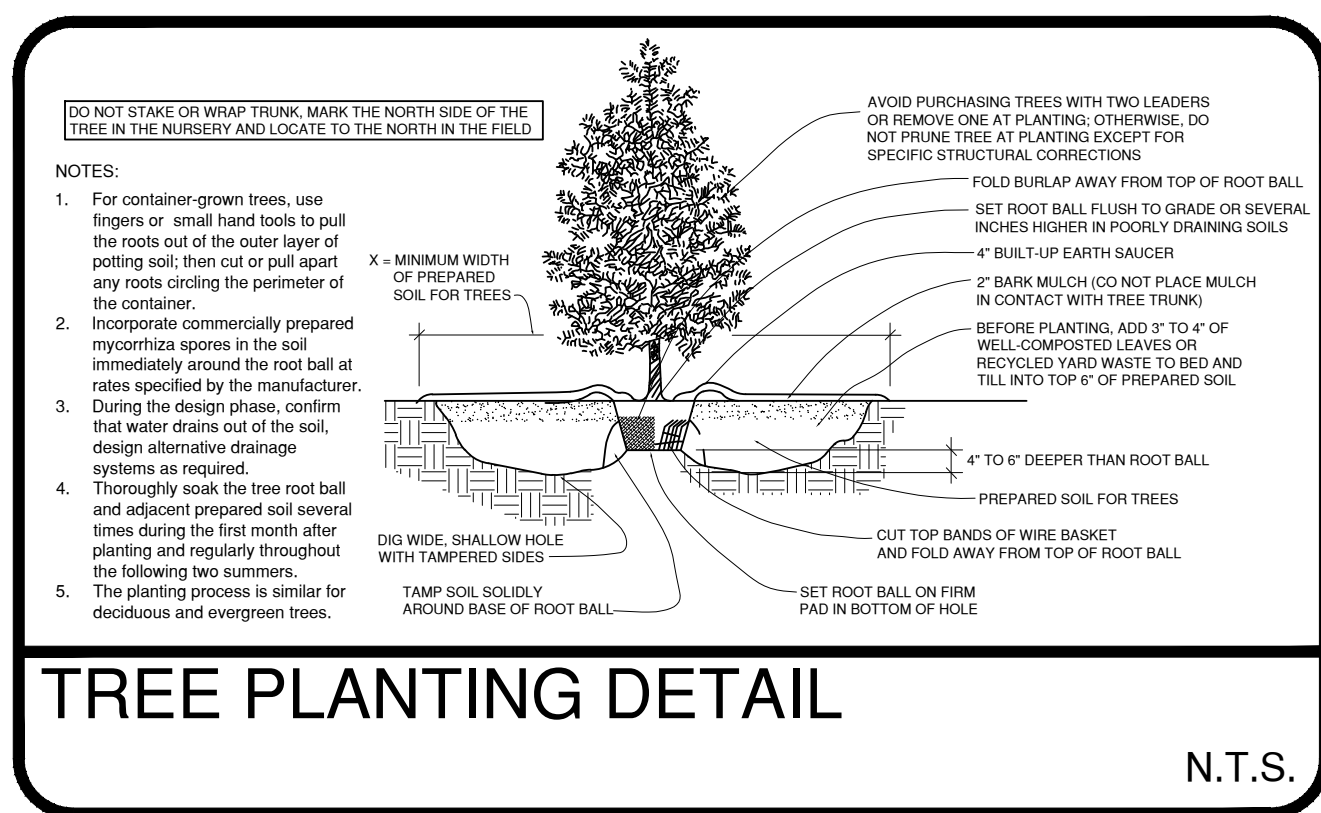
CURB & GUTTER DETAIL

N.T.S.



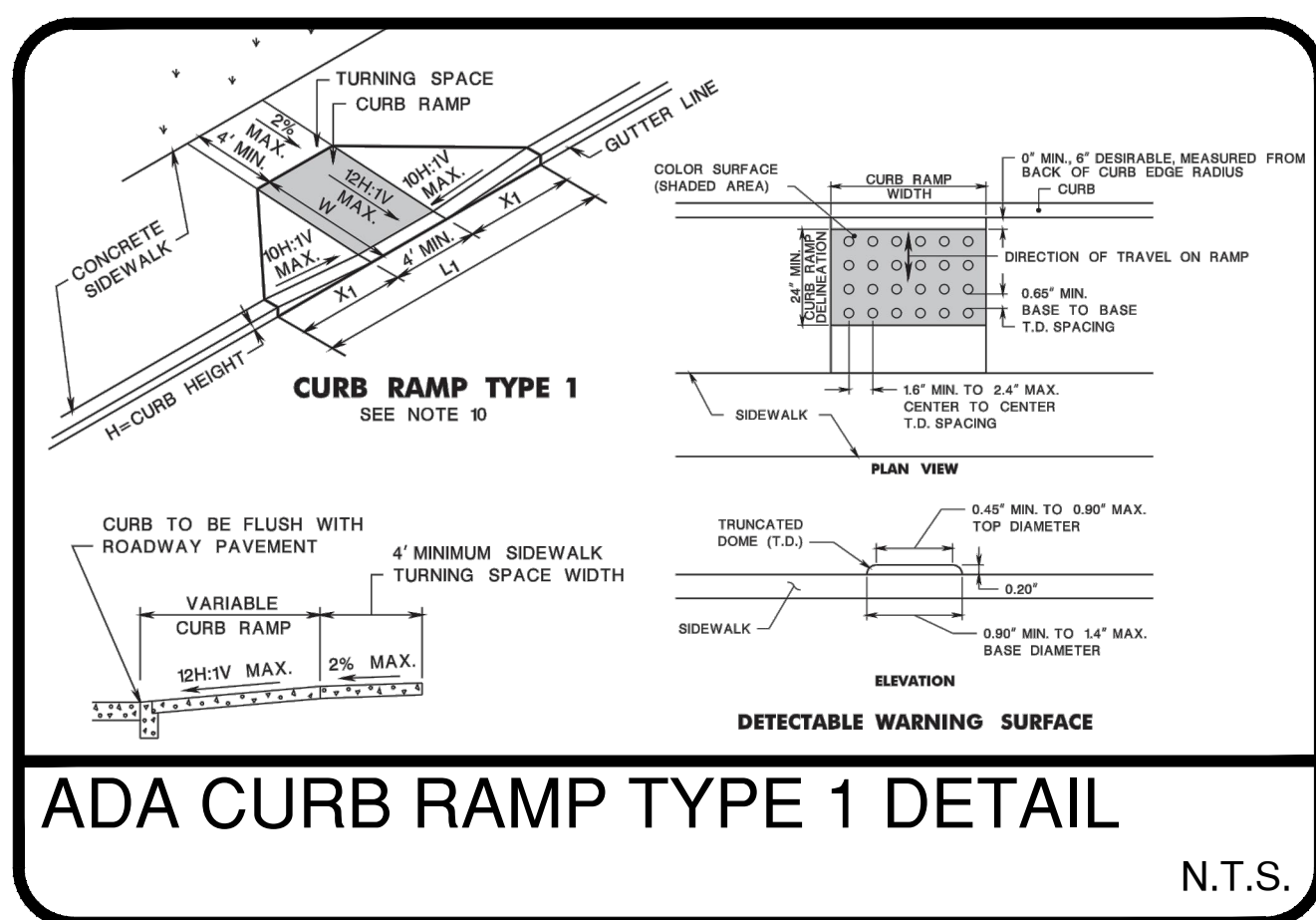
SANITARY SEWER CLEANOUT COVER

N.T.S.



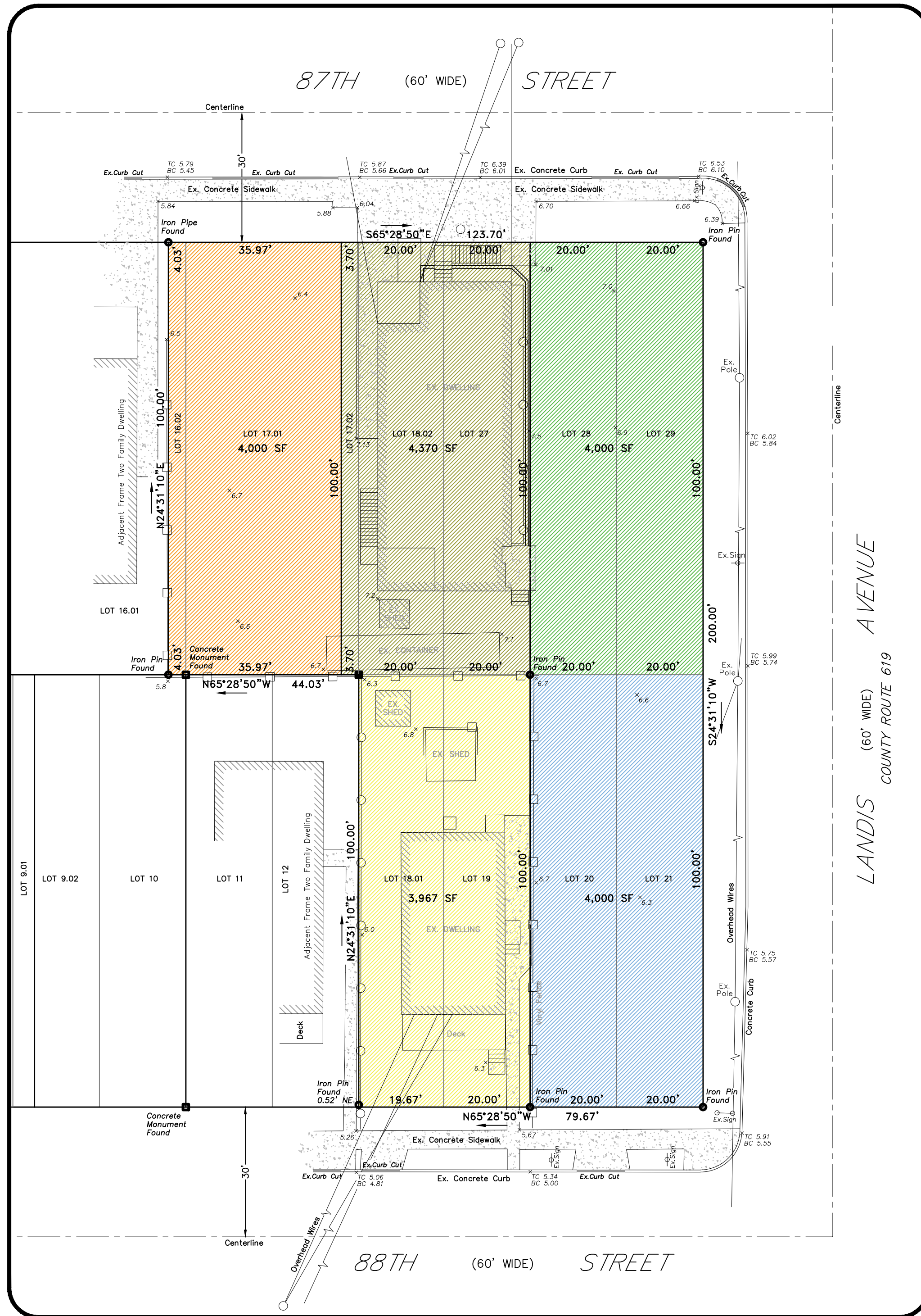
TREE PLANTING DETAIL

N.T.S.



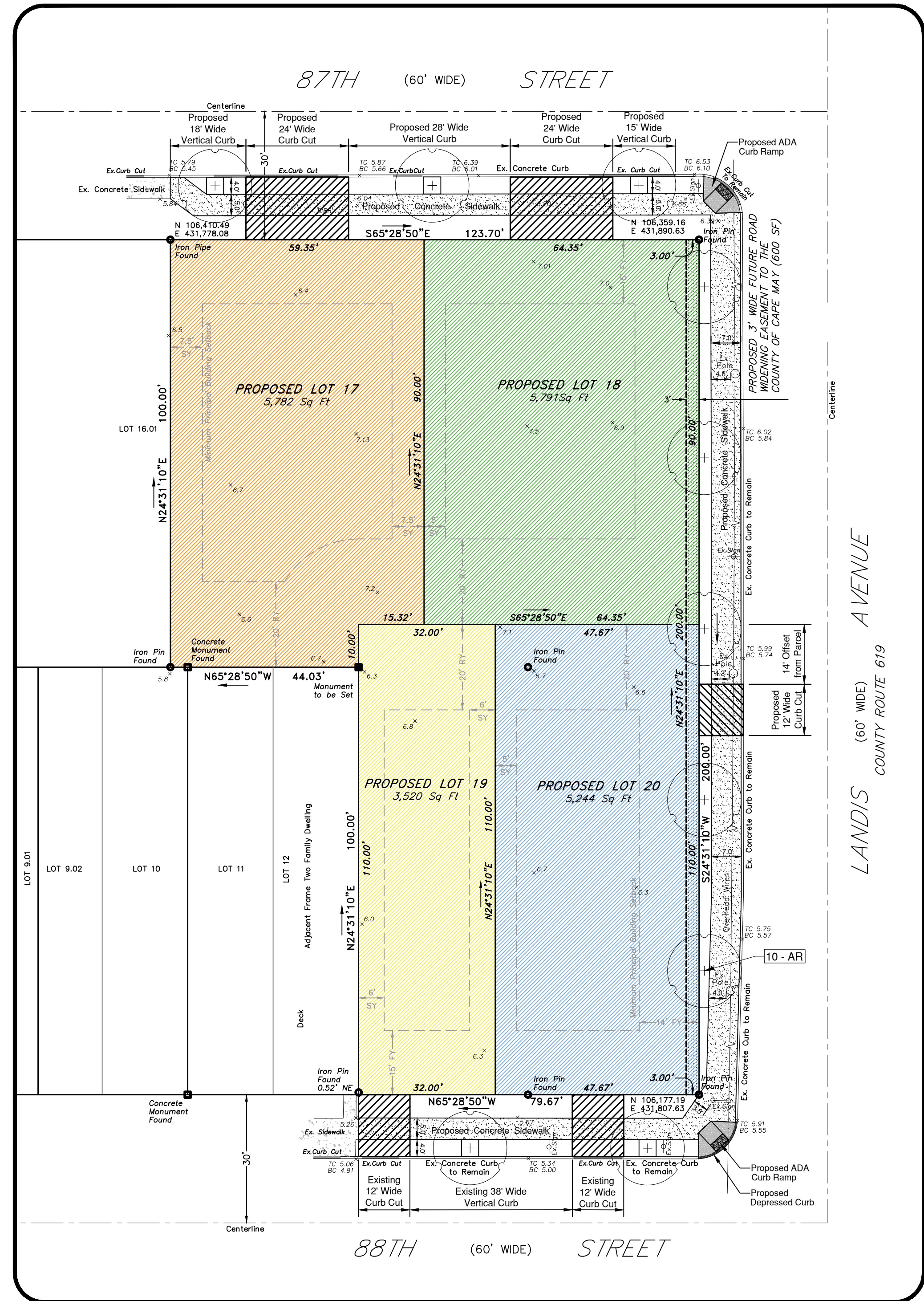
ADA CURB RAMP TYPE 1 DETAIL

N.T.S.



EXISTING LOT CONFIGURATION

SCALE: 1" = 20'



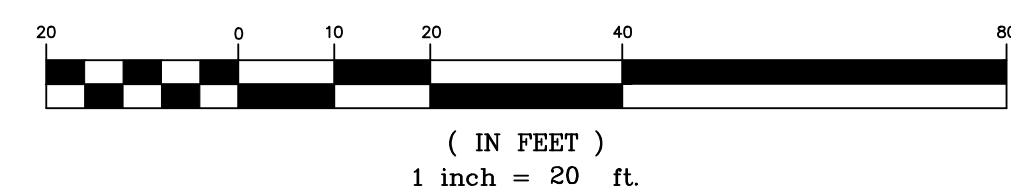
PROPOSED LOT SUBDIVISION CONFIGURATION

SCALE: 1" = 20'

PLANTING SCHEDULE

ABRV	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY
AR	ACER RUBRUM 'GOLDSPIRE'	GOLDSPIRE RED MAPLE	7'-8'	B&B	10

GRAPHIC SCALE



**EDAA** Engineering Design Associates, P.A.  
 Environmental Planners, Landscape Architects  
 CAMBRIDGE PROFESSIONAL OFFICES  
 600 ROUTE 66, SUITE 200  
 WESTBOROUGH, MA 01581  
 (609) 390-0332 • Fax (609) 390-9204 • www.edaengineers.com • CERTIFICATE OF AUTHORIZATION# 24043792000

**SUBDIVISION / LOT ANALYSIS PLAN**  
 BLOCK 88.03 LOTS 16.02, 17.01, 17.02,  
 18.01, 18.02, 19, 20, 21, 27, 28 & 29  
 SEA ISLE CITY, CAPE MAY COUNTY, NEW JERSEY

**VINCENT C. ORLANDO**  
 PROFESSIONAL ENGINEER  
 N.J.P.E. LIC. #32498

IF THIS PLAN OR DOCUMENT DOES NOT CONTAIN A RAISED SEAL IMPRESSION BEARING THE NAME AND REGISTRATION NUMBER OF THE ABOVE SIGNED PROFESSIONAL, IT MAY NOT BE AN AUTHORIZED COPY OF THE ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED. REPRODUCTION OR FURTHER DISSEMINATION OF THE CONTENTS IN WHOLE OR IN PART REQUIRES PERMISSION IN WRITING FROM ENGINEERING DESIGN ASSOCIATES, P.A.

REVISION	DATE	BY



DATE: 02/19/25	DRAWN BY: NEW
SCALE: AS NOTED	CHECKED BY: VCO
PROJECT #: 10569	SHEET: 2 OF 2